

General building permit requirements Accessory Structures

The following items are required to obtain a General Building Permit for an accessory structure:

1. Any required county permits
2. Any required town or village permits
3. A completed General Building Permit Application (on-line permit instructions).
(on-line application: https://gec.soliant.cloud/fmi/webd/GEC_BuildingPermitApplication)
4. Building plans to scale
6. Erosion control plan. (May be shown on the site plan.)
7. Builders/Contractors applying for a building permit must supply their **Dwelling Contractor Credential** number with expiration date and their **Dwelling Contractor Qualifier Credential** number with expiration date.
8. Homeowners applying for a building permit must sign the **Cautionary Statement to Owners** in accordance with s 101.65 (1r), Stats.

IMPORTANT NOTICE

The work you are doing under this permit must be inspected!

Inspections for the following must be made prior to proceeding to the next phase:

1. Footings/slab (forms in place, **prior** to pouring concrete).
2. Rough construction if walls will be closed (work completed **prior** to insulation).
3. Final Inspection.
4. Any other inspections needed based on project.

Any questions or to schedule an inspection, please call or text General Engineering at (608)617-9253

NOTICE TO PERMIT APPLICANTS

Cautionary Statement to Owners Obtaining Building Permits

101.65(1r) of the Wisconsin Statutes requires municipalities that enforce the Uniform Dwelling Code to provide an owner who applies for a building permit with a statement advising the owner that:

If the owner hires a contractor to perform work under the building permit and the contractor is not bonded or insured as required under s. 101.654 (2) (a), the following consequences might occur:

(a) The owner may be held liable for any bodily injury to or death of others or for any damage to the property of others that arises out of the work performed under the building permit or that is caused by any negligence by the contractor that occurs in connection with the work performed under the building permit.

(b) The owner may not be able to collect from the contractor damages for any loss sustained by the owner because of a violation by the contractor of the one- and two- family dwelling code or an ordinance enacted under sub. (1) (a), because of any bodily injury to or death of others or damage to the property of others that arises out of the work performed under the building permit or because of any bodily injury to or death of others or damage to the property of others that is caused by any negligence by the contractor that occurs in connection with the work performed under the building permit.

Cautionary Statement to Contractors for Projects Involving Building Built Before 1978

If this project is in a dwelling or child-occupied facility, built before 1978, and disturbs 6 sq. ft. or more of paint per room, 20 sq. ft. or more of exterior paint, or involves windows, then the requirements of ch. DHS 163 requiring Lead-Safe Renovation Training and Certification apply. Call (608)261-6876 or go to <https://www.dhs.wisconsin.gov/lead/index.htm> for details of how to be in compliance

Wetlands Notice to Permit Applicants

You are responsible for complying with state and federal laws concerning the construction near or on wetlands, lakes, and streams. Wetlands that are not associated with open water can be difficult to identify. Failure to comply may result in removal or modification of construction that violates the law or other penalties or costs. For more information, visit the Department of Natural Resources wetlands identification web page or contact a Department of Natural Resources service center.

Wetlands Identification web page: <https://dnr.wisconsin.gov/topic/Wetlands/identification.html>

DNR Waterway & Wetland Permits web page: <https://dnr.wisconsin.gov/topic/Waterways/permitFAQ>

WI Dept. of Natural Resources Service Center Link: <https://dnr.wisconsin.gov/contact/OfficeLocations.html>

Additional Responsibilities for Owners of Projects Disturbing One or More Acre of Soil

I understand that this project is subject to ch. NR 151 regarding additional erosion control and stormwater management and will comply with those standards.

Signature below indicates receipt and acknowledgement of the contents of this document.

Applicant/Property Owner Name: _____

Signature: _____ Date: _____

Parcel Number _____

Fire Number and Street Address of Project: _____

☐ File Copy

☐ Applicant/Owner Copy

Erosion Control Plan
Checklist
To be Completed by
Landowner/Contractor

Landowner: _____

Mailing Address: _____

LO Phone Number: _____

Date: _____

Parcel # ____ - ____ - ____ - ____ Fire # _____

Township: _____ Road: _____

Contractor Name & Phone#: _____

- | | | |
|---|---|--------------------------------------------------------------------------------------------|
| Y | N | Land disturbing activity will be 10,000 sq ft. (100' x 100') or more? |
| Y | N | Land disturbing activity will be on slopes of 12% or more (one foot rise or fall in 8 ft)? |
| Y | N | Land disturbing activity will be within 300' of a wetland? |
| Y | N | Land disturbing activity will be within 500' of a navigable body of water? |
| Y | N | Land disturbing activity drain towards a road ditch or a road with storm sewer inlets? |

- If the answer to ALL of the above questions is no (verified by Building Inspector) a pre-construction on-site by Building Inspector is not needed, and the landowner will install a standard erosion control practice(s) circled on the back of this form and identified on the erosion control site plan.
- If the answer to ANY of these above questions is yes, then a pre-construction on-site may be scheduled to determine if specific erosion control practices need to be included in the required Erosion Control Plan, or whether standard erosion control practices will be sufficient.

INITIAL THE BOXES TO INDICATE YOU'VE READ AND UNDERSTAND:

☐ It is the landowner/contractor's responsibility to install and maintain the required conservation practices circled on the back of this form and included in the erosion control site plan. If a silt fence and/or tracking pad is required, those practices need to be properly installed prior to any ground disturbance.

☐ The Building Inspector may inspect the site for compliance. **The landowner/contractor may be charged a re-inspection fee if the site is not code complaint and a re-check is necessary. In addition a stop work order may be issued.**

☐ It is the landowner/contractor's responsibility to prevent any soils from leaving the site during construction. Any ensuing stormwater runoff concerns, resulting from filing and grading during or after construction, are civil issues between the landowner and any affected property owner(s).

I certify that the information provided is true and complete to the best of my knowledge.

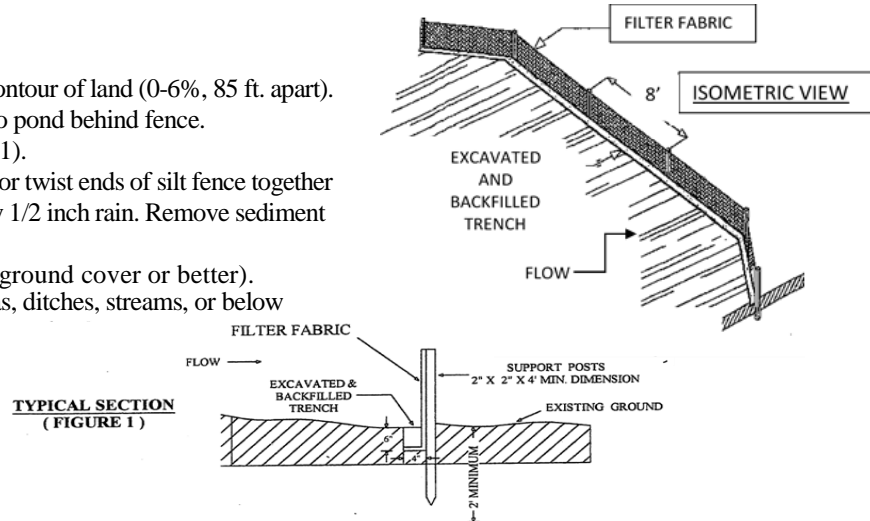
Landowner/Contractor Signature: _____

STANDARD EROSION CONTROL PRACTICES:

WCECP003(9/16)

SILT FENCE

- Install before any land disturbance.
- Install on downslope sides of site parallel to contour of land (0-6%, 85 ft. apart).
- Extend ends upslope enough to allow water to pond behind fence.
- Bury 10 inches of fabric in trench (see figure 1).
- Leave no gaps. Overlap sections of silt fence, or twist ends of silt fence together
- Inspect and repair once a week and after every 1/2 inch rain. Remove sediment if deposits reach half the fence height.
- Maintain until a lawn is established (70% ground cover or better).
- Not recommended for concentrated flow areas, ditches, streams, or below Ordinary High Water Mark.

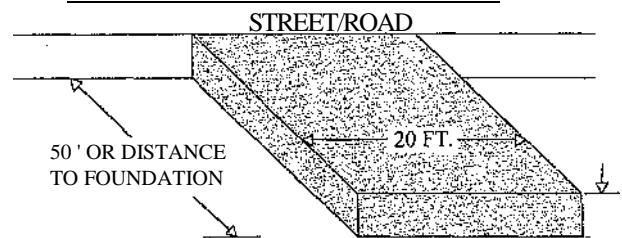


ACCESS DRIVE / TRACK PAD

- Install access drive using 3 inch minimum aggregate prior to construction.
- Lay stone 12 inches deep and at least 20 feet wide from the road edge to the foundation or at least 50 feet if distance is greater.
- Use to prevent tracking mud onto the road by *all vehicles*.
- Maintain throughout construction.
- On sandy soils, when a tracking pad is not installed, sediment leaving site must be removed daily.

Where access drives connect to a public road, contact the appropriate unit of government (township/county/state) to determine culvert and other restrictions or permits.

HOW TO INSTALL AN ACCESS DRIVE / TRACK PAD



SEEDING AND MULCH

- Spread 4 to 6 inches of topsoil.
- Fertilize and lime if needed according to soil test.
- Seed with an appropriate mix for the site.
- Rake lightly to cover seed with 1/4" of soil. Roll lightly.
- Mulch with straw (70-90 lb. or one bale per 1000 sq. ft.).
- Anchor mulch by punching into the soil, watering or by using netting or other measures on steep slopes.
- Water gently every day or two to keep soil moist. Less watering is needed once grass is 2 inches tall.
- A dormant seeding may be installed 11/1 till snow cover.
- A frost seeding may be installed with no snow cover between 3/1-4/15.
- Seeding must be established (70% ground cover or better).

BUILDING MATERIAL WASTE DISPOSAL

- All building waste material shall be properly managed and disposed of to prevent pollutants & debris from being carried off site by runoff.
- For proper disposal of flammable, combustible & hazardous liquids, contact the local fire department

ROOF RUNOFF SYSTEM

- Install french drain at roof drip line with or without tile outlet.
- Install gutters & downspouts and outlet to one of the following:
 - Stable vegetated area.
 - underground tile outlet to stable vegetated area.
 - drywell.
 - infiltrator system.
 - rain garden.

"Installing these practices does not imply that Waupaca County is responsible or liable for practices installed by a third party and makes no guarantees or warranties regarding the installation of any requirements in this plan. It is the landowner's responsibility to take reasonable care and/or to ensure that care is taken during the construction such that the neighboring parties do not receive additional stormwater or sediment from filling and grading or are otherwise adversely effected by the installation of any required practices."

"The Building Inspector must be contacted for final inspections prior to removing any required practices."

REQUIRED EROSION CONTROL PLAN

SITE PLAN

WC002(1/2/14)

PROJECT LOCATION: *123 Maple Street Oakfield, WI 54900*

PROPERTY OWNER: *John Doe*

CONTRACTOR: *ACME CONTRACTING*

PREPARED BY: *John Doe*

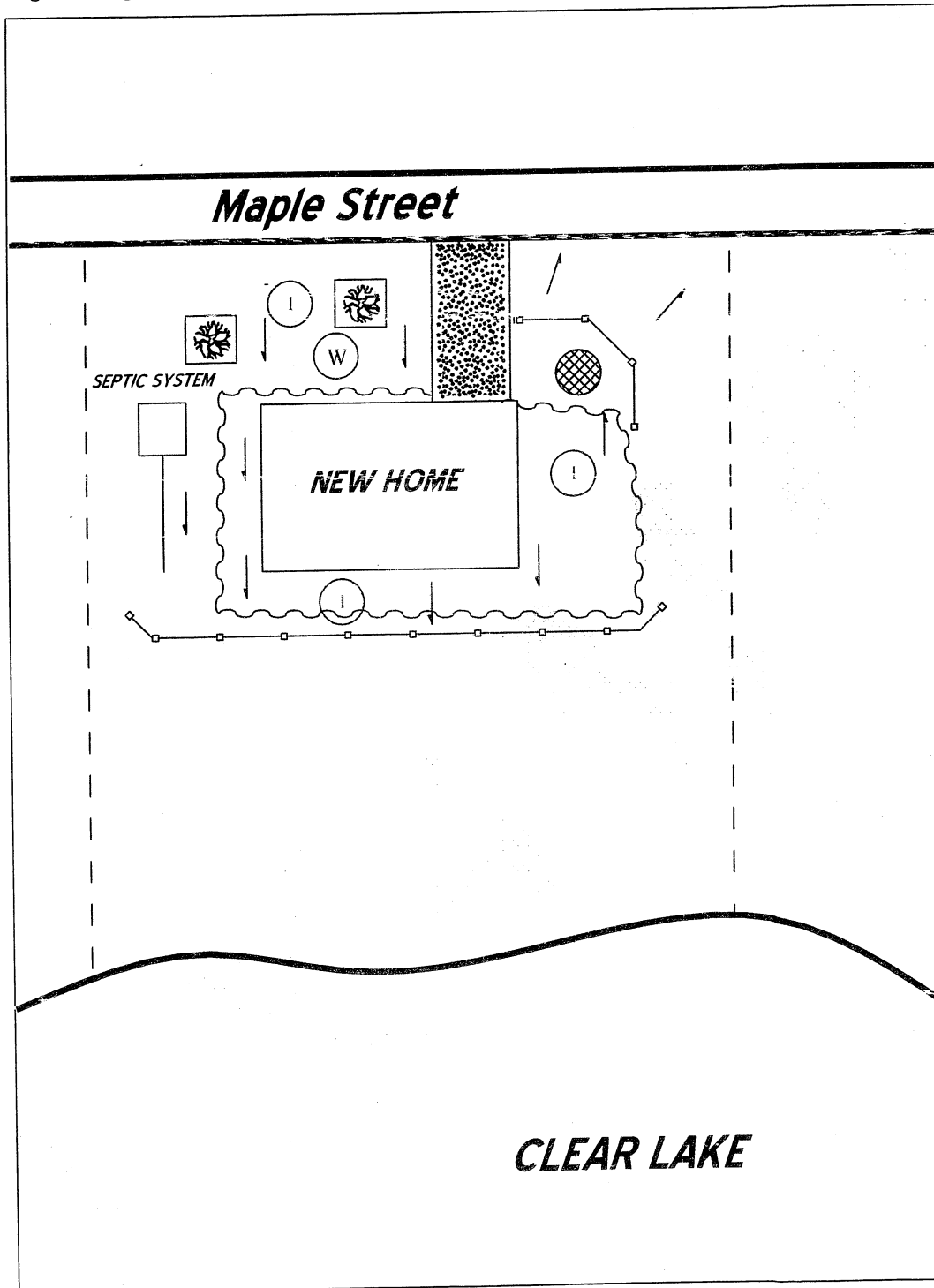
DATE: *1/2/2014*

REVIEWED BY:

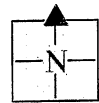
DATE:

SPS 320.09(5)(a) requires that a site plan includes the following:

dwelling & building locations / wells / surface waters / dispersal systems / property lines / disturbed land / existing drainage / sediment control systems



PLEASE INDICATE
NORTH
BY COMPLETING
THE ARROW



SCALE:

1"= **40** FT

EROSION CONTROL PLAN LEGEND

- PROPERTY LINE
- ~~~~~ DISTURBED LAND
- EXISTING DRAINAGE
- SILT FENCE
- [Stippled Box] TRACKING PAD
- [Tree Symbol] TREE PRESERVATION
- [Cross-hatched Circle] STOCKPILED SOIL
- (W) WELL
- (I) VEGETATION SPECIFICATION:

AREA TO BE TOPSOILED,
SEEDED AND MULCHED
BY OWNER AT THE
COMPLETION OF
CONSTRUCTION.

It is the responsibility of the landowner to see that this erosion control plan is implemented.

REQUIRED EROSION CONTROL PLAN

SITE PLAN

WC001A(1/2/14)

PROJECT LOCATION: _____

PROPERTY OWNER: _____

CONTRACTOR: _____

PREPARED BY: _____

DATE: _____

APPROVED BY: _____

DATE: _____

SPS 320.09(5)(a) requires that a site plan includes the following:

dwelling & building locations / wells / surface waters / dispersal systems / property lines / disturbed land / existing drainage / sediment control systems






PLEASE INDICATE
NORTH
BY COMPLETING
THE ARROW



SCALE:

1"= _____ FT

EROSION CONTROL PLAN LEGEND

- _____ PROPERTY LINE
- ~~~~~ DISTURBED LAND
- ← EXISTING DRAINAGE
- SILT FENCE
-  TRACKING PAD
-  TREE PRESERVATION
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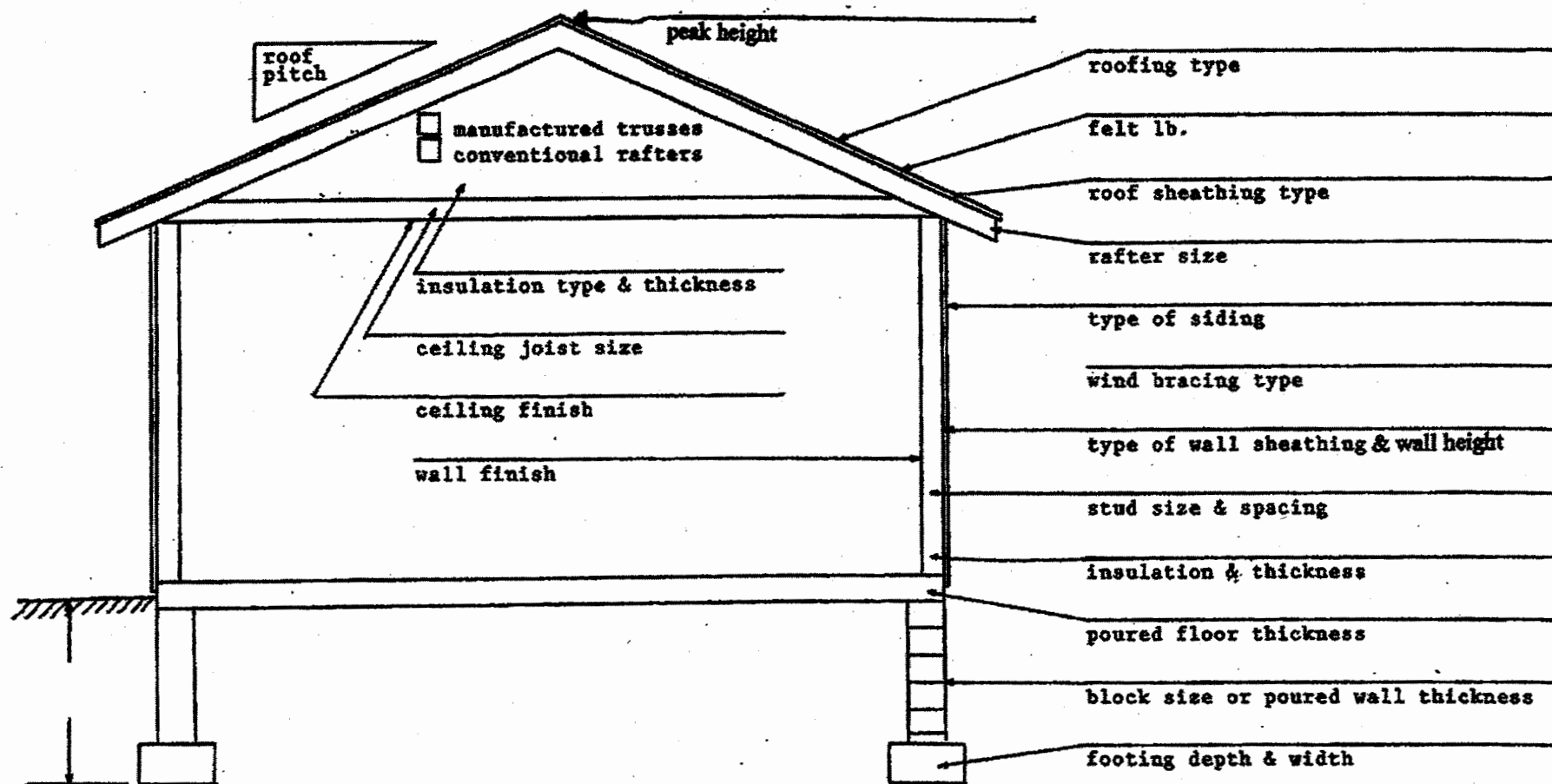
It is the responsibility of the landowner to see that this erosion control plan is implemented.

Garage Size _____

Garage Cross Section

owner or agent signature _____

inspector signature _____



Garage Door(s):

Door width _____

Located in ☐ gable end ☐ side wall

Header type & size _____

FOR INSPECTIONS CALL: _____		GENERAL BUILDING PERMIT APPLICATION GENERAL ENGINEERING COMPANY OFFICE: (608) 745-4070 FAX: (608) 745-5763				PERMIT # _____		
Parcel Number: _____		Property is Located in <input type="checkbox"/> Town of <input type="checkbox"/> Village of <input type="checkbox"/> City of Name: _____				EXPIRATION DATE: ____/____/____		
PROJECT DESCRIPTION (Submit Building Plans & Site Plan)						Does this project require any additional approvals or permits? <input type="checkbox"/> yes <input type="checkbox"/> no		
Building Project Address: _____						Finished Project Value \$ _____		
Zoning District(s):	Zoning Permit No.:	Corner Lot <input type="checkbox"/> yes <input type="checkbox"/> no	Bldg. Height Ft.	Setbacks:	Front	Rear	Left	Right
Owner's Name(s)		Mailing Address				Telephone		
						Email		
Contractor Name & Type		Licen. / Cert #	Exp. Date	Mailing Address		Telephone & Email		
Construction Contractor				The Dwelling Contr. Qualifier shall be an owner, CEO, COB or employee of the Dwelling Contr.		Tel.		
						Email		
Dwelling Contractor Qualifier						Tel.		
						Email		
HVAC Contractor						Tel.		
						Email		
Electrical Contractor						Tel.		
						Email		
Master Electrician						Tel.		
						Email		
Plumbing Contractor						Tel.		
						Email		
RESIDENTIAL Single Family/Duplex	Addition: <input type="checkbox"/> Electrical <input type="checkbox"/> Plumbing <input type="checkbox"/> HVAC <input type="checkbox"/> Construction _____ sq. ft. <input type="checkbox"/> Erosion Control							
	Detached Accessory Building: <input type="checkbox"/> Electrical <input type="checkbox"/> Plumbing <input type="checkbox"/> HVAC <input type="checkbox"/> Construction _____ sq. ft.							
	Remodel: <input type="checkbox"/> Electrical <input type="checkbox"/> Plumbing <input type="checkbox"/> HVAC <input type="checkbox"/> Construction _____ sq. ft.							
	Other: <input type="checkbox"/> Fence <input type="checkbox"/> Electrical <input type="checkbox"/> Plumbing <input type="checkbox"/> HVAC <input type="checkbox"/> Construction _____ sq. ft. <input type="checkbox"/> Erosion Control <input type="checkbox"/> Electrical Service Upgrade (Amp____) <input type="checkbox"/> Removal of Structure (Raze) <input type="checkbox"/> _____							
COMMERCIAL	New Commercial Building: _____ Bldg. Sq. Ft. <input type="checkbox"/> Electrical <input type="checkbox"/> Plumbing <input type="checkbox"/> HVAC <input type="checkbox"/> Construction <input type="checkbox"/> Erosion Control							
	Commercial Addition/Alteration: <input type="checkbox"/> Electrical <input type="checkbox"/> Plumbing <input type="checkbox"/> HVAC <input type="checkbox"/> Construction <input type="checkbox"/> Erosion Control _____ Building Sq. Ft. <input type="checkbox"/> Electrical Service (Amp____) <input type="checkbox"/> Fence <input type="checkbox"/> Sign <input type="checkbox"/> Removal of Structure (Raze)							
	State of Wisconsin Plan Approval Needed: <input type="checkbox"/> yes <input type="checkbox"/> no (Approved plans must be submitted with permit application)							
Zoning – When applicable, owner shall research setback information regarding height, lot coverage, etc. prior to submittal of this application.								
I agree to comply with all applicable codes, statutes and ordinances and with the conditions of this permit; understand that the issuance of the permit creates no legal liability, express or implied, on the state or municipality; and certify that all the above information is accurate. If I am an owner applying for an erosion control or construction permit, I have read the cautionary statement regarding contractor financial responsibility on the reverse side of the last ply of this application. I expressly grant the building inspector or the inspector's authorized agent permission to enter the premises for which this permit is sought at all reasonable hours and for any proper purpose to inspect the work which is being done. <i>It is the Owner/Contractors Responsibility to Call in ALL INSPECTIONS to the Inspector.</i>								
APPLICANT'S SIGNATURE _____						DATE SIGNED _____		
APPROVAL CONDITIONS This permit is issued pursuant to the following conditions. Failure to comply may result in suspension or revocation of this permit or other penalty. <input type="checkbox"/> See attached for conditions of approval.								
BELOW SECTION FOR OFFICE USE ONLY								
FEES:		PERMIT(S) ISSUED			PERMIT ISSUED BY:			
Construction \$ _____		<input type="checkbox"/> Construction			Name _____			
Plumbing \$ _____		<input type="checkbox"/> HVAC			Date _____ Telephone _____			
Electrical \$ _____		<input type="checkbox"/> Electrical			Cert No. _____ Census Code _____			
HVAC \$ _____		<input type="checkbox"/> Plumbing			www.generalengineering.net			
Zoning \$ _____		<input type="checkbox"/> Erosion Control			VER. 1/3/2018			
Other _____ \$ _____		<input type="checkbox"/> Other _____						
Administrative \$ _____								
Total Permit Fee \$ _____								

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☐ ***I vouch that I am or will be owner-occupant of this dwelling for which I am applying for an erosion control or construction permit without a Dwelling Contractor Certification and have read the cautionary statement regarding contractor responsibility above.***

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Contractor Credential Requirements

All contractors shall possess an appropriate contractor credential issued by the Wisconsin Division of Industry Services. Contractors are also required to only subcontract with contractors that hold the appropriate contractor credential.

By signing this document, owner confirms that he/she has read and understands all of the above stated information.

Owner's Signature: _____ **Date:** _____